



TYPE IV HOUSES

IMPORTANT NOTE:

Variation to the guidelines may be permitted by the Garlington Architectural Review Committee (GARC) on the basis of Architectural merit.

The guidelines are a living document and changes and additions may be made from time to time. Please ensure that you familiarise yourself with all amendments, which may be obtained from GARC.

A TIMELESS ARCHITECTURE

The founders of Garlington have set out to re-discover the beauty of scale and proportion, as well as the feeling of permanence which belongs to the vernacular architecture, so admired in the Western Cape and old farmhouses of KwaZulu-Natal.

Their inspiration was derived from the surrounding area. After carefully researching the architecture of Hilton, it was decided that the dominant architectural statement was made by the Cape architecture of Hilton College. It seems even more appropriate that Garlington should derive its inspiration from Cape architecture when it was discovered that the original farmhouse built by Mr Otto in the shadows of Otto's Bluff had a Cape Dutch gable.

The ambience of Garlington is to be one of timelessness. To achieve this, it is necessary to not only focus on the architecture, but the public spaces, the streets and the connection between the houses and the streets.

The urban planning has taken into account the founders' objectives. In addition to the streets and the public spaces, the founders have attached importance to the open spaces and the views at Garlington.

The design has ensured that all those living at Garlington will have the opportunity to enjoy "the feeling of being in the country", as well as the magnificent views of Otto's Bluff (KwaQuela, as it was known by the local Zulu people)' Albert Falls Dam and the surrounding countryside.

The layout of the promenade is an acknowledgement of the importance of these views.

It has been positioned in such a manner that those living in the village will share the enjoyment of this special amenity with those who are fortunate enough to have properties with views over Otto's Bluff and Albert Falls Dam.

The individual homes will also contribute to the harmony and beauty of the whole. Each house should be seen as part of the greater picture. It is therefore important that all the homeowners join the founders in realising their vision.

In so many modern towns and cities, we find ourselves in a theatre, from which the scenery has been lost, leaving only a bare structure littered with billboards, cheap

advertisements and incompatible buildings designed with cost as the main criterion, rather than beauty and quality.

In order to develop a timeless architecture - one that embodies simplicity, beauty and a relaxed atmosphere of community - all home owners must subscribe to the overall objective; they must subordinate their personal interest to the interests of the community as a whole.

Please note that the onus is on the architect to advise GARC in writing of any deviations/relaxations which are required.

BACKGROUND TO THE ARCHITECTURAL GUIDELINES

Garlington has been divided into four distinct zones. In the centre of Garlington is the heart of the development, where The Avenue and Garlick Avenue intersect.

Here, one finds the community buildings such as the gym, the coffee shop and other common amenities, as well as the denser, residential development. The architecture for this zone has been inspired by the old homes of de Waterkant and Bo Kaap in the Cape.

To the north and east of the central zone is the village component of Garlington. Here the architecture draws its roots from the vernacular architecture of Stellenbosch.

The first Stellenbosch houses were modest, single-storey thatched cottages. They were designed as simple rectangles on plan. These later evolved to what is commonly referred to as the "lettered Architecture". This is not only dominant in the Western Cape, but also in most of the old farm houses of the Midlands.

Major characteristics of Stellenbosch architecture are:

- strongly walled architecture;
- symmetry;
- pleasant proportions;
- narrow primary spaces.

These features will form the core of the architectural guidelines.

Surrounding the village to the north and east are the larger properties, which are divided into two categories. The first zone comprises properties which abut the village zone and vary in size from approximately 2 000m² to 5 000m².

The second zone contains those properties which have been laid out on the slopes facing KwaQuela and Albert Falls Dam. These are the large properties which form the connection between the village and the surrounding countryside. Here, the architectural inspiration is primarily the farmyards and rural architecture of the Midlands and the Western Cape. The architecture in this area allows for large verandahs, wrapping around barn like structures where the primary building runs parallel to the contours.

In the case of the public buildings, the architects have been given freedom of expression so as to ensure that the buildings adhere to the principles of civic buildings in towns. These structures must respond to public spaces and create legible landmarks.

The guidelines encourage a fragmentation of buildings, or the traditional lettered architecture, with secondary spaces at right angles to the primary buildings. The majority of the farmhouses of KwaZulu-Natal were single-storey with a few making use of the roof spaces.

BACKGROUND TO TYPE IV HOUSES:

Type IV houses have drawn their inspiration from the old farmhouses of the Cape (**See Figure 35 & 36**) and the Midlands of KwaZulu-Natal (**See Figures 37 & 38**). The original farmhouse of Mr Otto, on the farm Upper Saxony in the shadows of Otto's Bluff, incorporated a florid gable. Initially, most of the houses were barn-like structures which often led to a collection (fragmentation) of buildings forming the farmyard.

Later, a regional vernacular developed in KwaZulu-Natal in response to the climate and landscape. The original farmhouses were very simple; often a rectangular house of a few rooms. They were then added to and the roofs record the growth with the bell cast profile being prevalent and the main roof steeper than the lean-to roofs.

The overriding character of the farmhouses of KwaZulu-Natal is roof architecture with sheltered walls and their openings playing a subservient, physical and visual role. This kind of architecture is sensible in climatic terms in the way it affords protection from sun, wind and rain.

The majority of the farmhouses were single-storey. A few used the roof space for bedrooms and storage, getting light through dormer windows, but the houses generally remained single-storey in nature.

The lettered layout so prevalent in the Cape comes through strongly in the architecture of the Midlands as well.

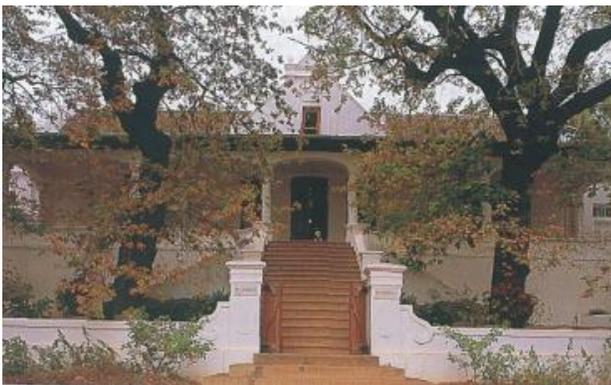


Fig 35

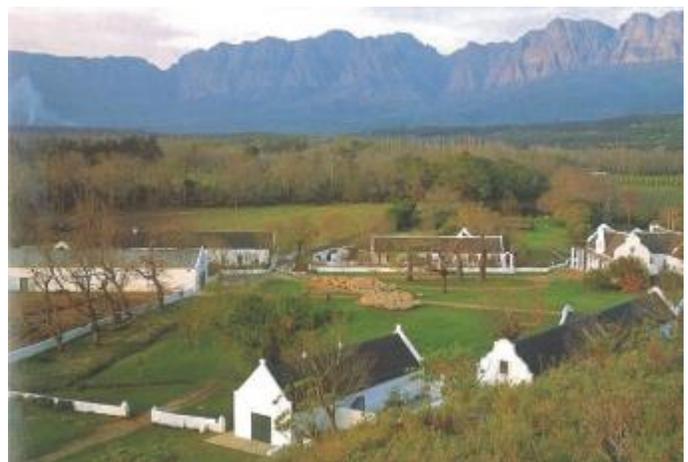


Fig 36



Fig 37



Fig 38

TYPE IV HOUSES – ARCHITECTURAL GUIDELINES

INTRODUCTION TO TYPE IV HOUSES:

These properties are the large properties which are found to the north and north east of the development. They are over 6 000m² in extent, with generous frontages allowing for large houses and uninterrupted views of Otto's Bluff and Albert Falls Dam.

The most important consideration in designing these houses is to ensure that the properties behind retain their views, for this is one of the main amenities of Garlington and one that must be protected wherever possible.

1 FORM:

The houses in Type IV categories must have a primary, or core space, with a secondary "lean-to" space. The houses are to conform to the "letters of the alphabet" architecture, variations of this, or alternatively, may be fragmented. **See Figure 41.**

In the case of Type IV houses, the primary space must be placed approximately parallel to the contour lines and all minor or secondary forms are to be parallel to, or at right angles to, the main building. Secondary buildings are to be subordinate to the main buildings, both in width and height.

Fragmentation of buildings is encouraged and no monolithic structures, as determined by GARC, will be allowed. **See Figure 36.**

Primary spaces must comply with the following controls:

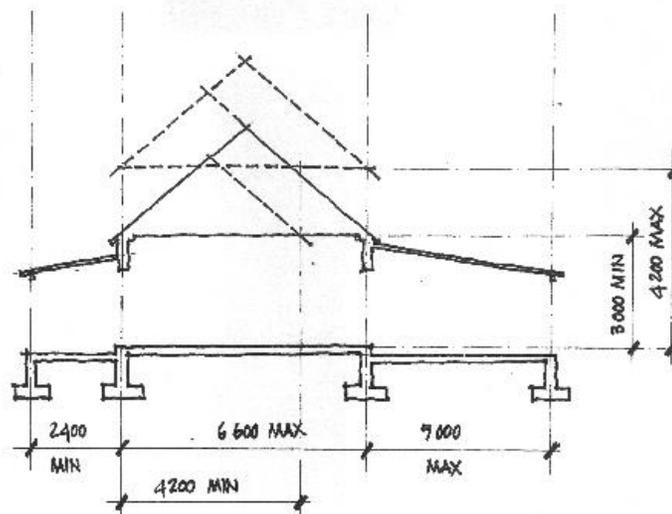
A minimum width of 4.2m and a maximum width of 6.6m. **See Figure 40.**

The width is to be measured to the exterior of the building.

Secondary or lean-to spaces shall have the following controls:

A minimum width of 2.4m and a maximum width of 5.00m. **See Figure 40.**

The width of the lean-to secondary spaces must be in proportion to the main primary space.



TYPE IV

Fig 40

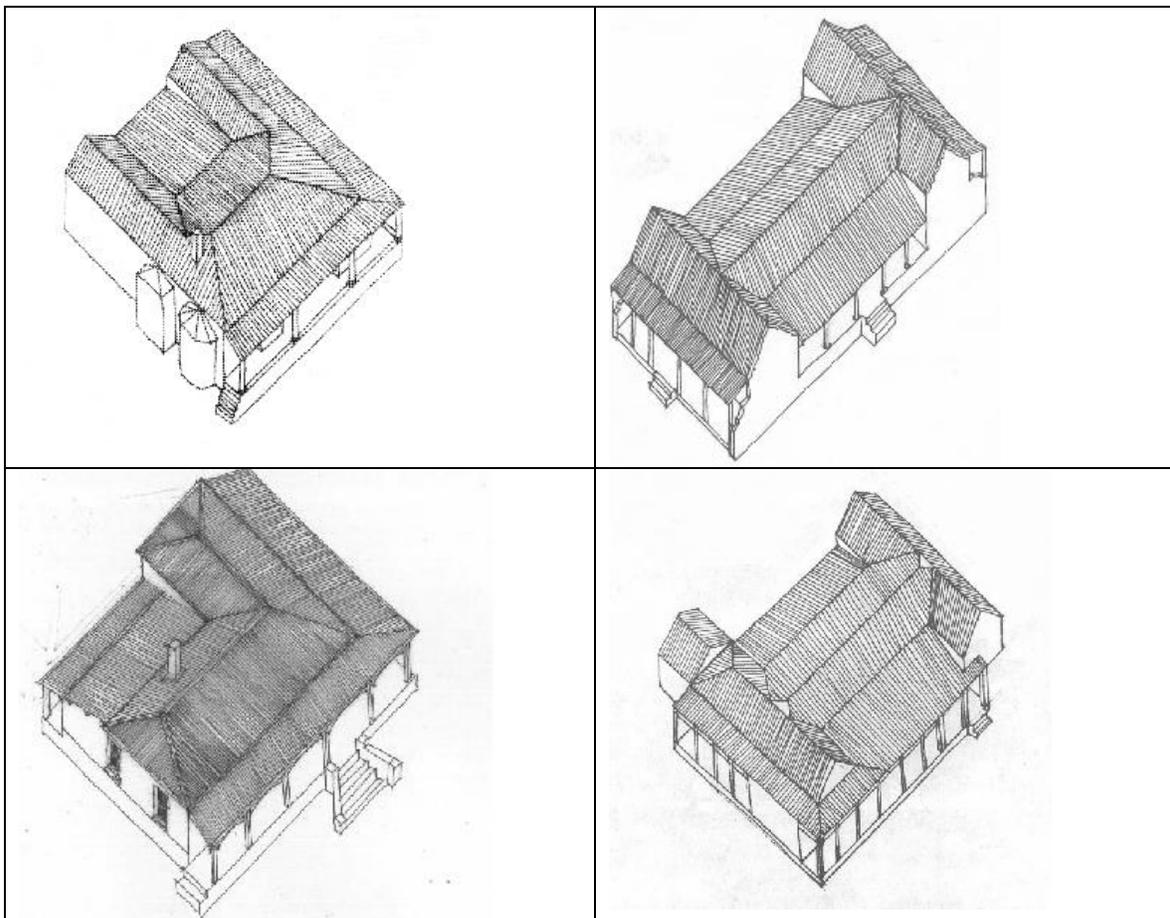


Fig 41

2 HEIGHT:

In the case of all buildings, the wall plate height shall be measured from finished floor level.

As a guide, the building committee will encourage buildings to be built not more than approximately 400mm above natural ground level. Each site shall be considered individually, taking into account the slope, and in particular the views of others and house design, as well as the overall height of buildings.

GARC is the sole arbitrator on any matter relating to the code and in particular will give careful consideration to the height above natural ground level when it impacts on views of the privacy of others.

The following height controls shall apply: **(See Figure 40).**

- Houses may be single-storey, or single-storey with loft spaces. The minimum wall plate height shall be 3m with a maximum wall plate height of 4.4m in the case of single storeys and 4.8m in the case of loft houses.
- No building may exceed 7m measured from the finished floor level to the ridge of the roof.
- **Loft Houses - Guidelines to lofts:**
In Cape and Natal architecture, from which the Garlington Code obtained its inspiration, lofts were generally single open spaces with openings in the gable ends or in a central gable or dormer.

The allowance of loft houses on properties at Garlington should not be interpreted as an opportunity to build "crimped" double storey houses. Traditional loft houses have gracious proportions and a quality that enhances the urban environment. The scale of the house is usually grander than in a normal single storey house.

GARC will interpret loft houses with the original intention of the founders, that being to allow lofts as an opportunity to enhance the urban quality of the development. The "squashed" double storey detracts from this intention, usually by lowering the ceiling height of the ground floor, so as to enable a second floor to be squeezed in - rather than increasing the scale of the house and thus enhancing the proportions. GARC will ensure that the loft house allowance is not abused and has prepared these guidelines to assist owners and their architects.

- Loft houses may have a wall plate height, measured from the finished floor level of the ground floor, of 4.4m. This is to enhance the proportion of the house. GARC will interpret the proportions on the basis that the loft wall – measured from the finished floor level of the loft, to the wall plate, shall not exceed 25% of the ground floor height, measured from the finished floor level of the ground floor, to the underside of the slab. This means that, in the case of a loft house with a wall plate height of 4.4m and a slab of 250mm thick, the wall of the loft space shall be a maximum of 830mm high and the wall on the ground floor shall be 3.320m high.

- No loft may have more than two dormers in any one façade and in the event of the façade being less than 10m in length, the dormers shall be limited to one. The size and position of dormers must acknowledge the scale and proportions of the house in which it is situate.
- Windows in the gable ends must acknowledge the proportions of the gable. It is generally accepted that windows in the loft space are of a lesser proportion than the windows on the ground floor, thus acknowledging the hierarchy of the ground floor.
- The total area of the loft space must be such that it complies with the FAR or the controls regarding the size of houses in the respective house types.
- Fenestration in the main walls of lofts is to be generally horizontal, or square, save for windows that may be in the dormers or front gable. Vertical windows can be allowed with the consent of GARC.

The above are merely guidelines, which shall be used by GARC to assist in ensuring that the appearance of loft houses is such that the houses read as lofts and not disguised double storeys.

See examples of loft houses - **Figures (a) to (l)** – from which the Guidelines have taken their inspiration.

We refer you to clause 1.5 of the guidelines for House Type II, where it refers to the scale and proportion of buildings. This is repeated below, for easy reference:

“Scale and proportion of buildings

Possibly, the most important feature of Stellenbosch is the scale and proportion of the buildings. All buildings in the core of Garlington must be well proportioned and well scaled.”

This comment applies to all loft houses, whatever house type they may be.

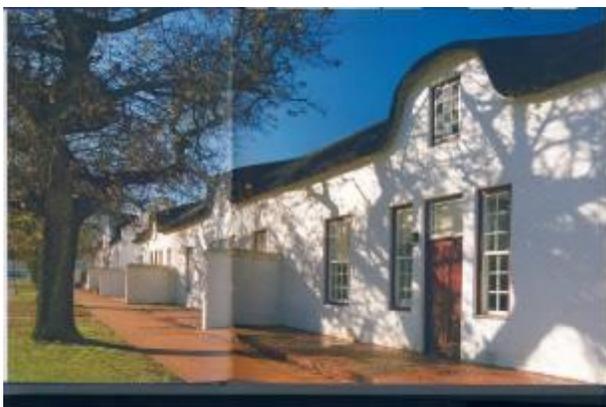


Fig (a)



Fig (b)



Fig (c)



Fig (d)



Fig (e)

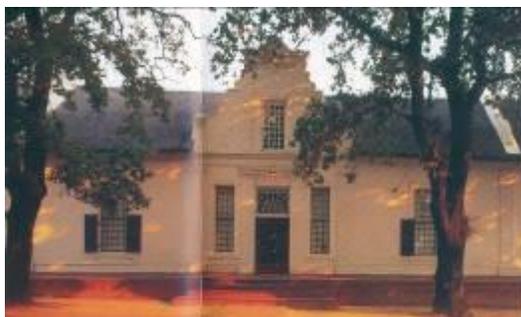


Fig (f)



Fig (g)

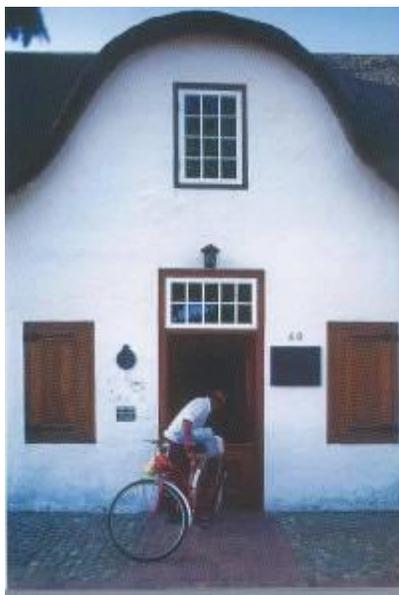


Fig (h)



Fig (i)



Fig (j)

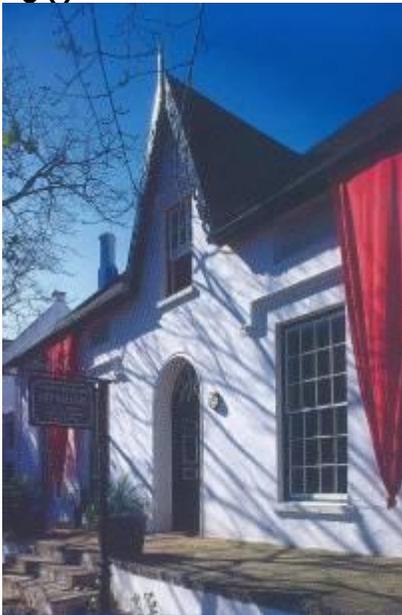


Fig (k)



Fig (l)

The above height restrictions are subject to the terms and conditions of the initial Agreements of Sale entered into between the developers and the original purchasers, as set out below.

"The purchaser hereby agrees that one of the main amenities of "GARLINGTON" is the views and open spaces.

It is acknowledged that all buildings on properties which are situated below the proposed werfwall/promenade shall be placed on the property in such a manner as to ensure that the top of the roof is not above the top of the werfwall and if it protrudes above the bottom of the werfwall then in such a manner as is approved by the Building Committee.

All trees on the development property which may affect views of property owners may only be planted with the consent of the developer and the Building Committee. In the case of properties below the werfwall, special attention shall be given by the Building Committee to the views of people on the promenade and from properties above the werfwall.

Trees shall be planted so as to ensure that the views are not unreasonably impeded. The decision with regard to views and the position of trees shall be at the sole discretion of the developer and the Building Committee.

In the placement of all houses below the promenade then the Building Committee's decision shall be final and binding should there be any dispute as to the position of the property and the height of the buildings."

GARC is sensitive to the views of those people above uMgenyane Road and will, where reasonable, apply the guideline that the ridge of the roof of none of the houses below uMgenyane Road, shall exceed 1m. This guideline will obviously have to be interpreted, taking into account the topography of each property and be sensitive, not only to the view of people above the road but also to the enjoyment of the property by home owners.

3 **COVERAGE:**

When calculating coverage, verandahs shall be excluded but all outbuildings and garages are included. Where verandahs are enclosed with **frameless glass** these areas will be excluded from coverage. However, if framed glass is used verandahs will be included in the coverage calculation.

The maximum coverage allowed is 800m². No single building may, however, exceed 600m².

Buildings which are joined by a flat roof, or walkway, may be considered as two buildings if GARC considers them not to read as a single building and not to be a monolithic structure.

4 **PLACEMENT:**

Buildings must be positioned on the property in the building zone, as shown on the placement plan of the Erf.

In the case of type IV houses, the primary space shall be placed approximately parallel to the contour line. All minor or secondary buildings shall be parallel, or at right angles to the contour.

5 **WALLS:**

5.1 **EXTERNAL HOUSE WALLS:**

External walls may be plastered, bag-washed, natural stone, or corrugated iron. In the case of special incidents such as chimneys or plinths, stipple plaster or tyrolean finish may be used to enhance the proportions of the buildings. Walls may be built of not more than 2 materials.

External walls shall be painted one of the colours on the approved colour list. Two colours may be used, one of which shall be white.

In the case of a darker colour being chosen, the prior approval of GARC must be obtained and there must be a light colour on both sides of a dark house.

5.2 **GARDEN WALLS:**

Garden walls may be plastered, bagwashed, or natural stone and shall be a minimum of 225mm thick with horizontal copings or "werfwall-type" cappings to them.

5.3 **RETAINING WALLS:**

Retaining walls shall be plastered or natural stone. Loffelstein-type retaining walls may be used in cases where they are not easily visible from public spaces.

5.4 **BOUNDARY FENCES:**

The street boundary shall be defined by a post and rail fence (posts to be rough, unturned, CCA treated posts), or a natural stone wall, or a combination of a natural stone wall and a post and rail fence. The remaining boundaries shall be wire bonnox or 4 strand fences with rough, unturned, CCA treated gum poles.

All houses which border on Umgenyane Road are obliged to erect post and rail fences, as described above, on the road boundary.

In the case of all other fences, they shall be wire fences with rough, unturned, CCA treated posts, which may not exceed 1 400mm. These fences may be bonnex, four or five wire strands, or of such wire configuration as may be approved by GARC from time to time.

In the case of the fences on the road boundaries, variations to the fence shall be allowed but prior approval to any variation must first be obtained from GARC. Post and rail fencing, as described above must, however, be incorporated into any design of the road boundary fencing.

6 **ROOFS:**

6.1 **MATERIALS:**

Roofs shall be painted, corrugated iron, or chromodek in the Victorian profile, or thatched roofs, or grey, natural slate tiles.

Colour on iron roofs shall be an approved shade of grey, dove grey, charcoal grey, dark dolphin, or light grey.

With the consent of GARC, clip-lock sheeting or brown built sheeting may be used where appropriate.

6.2 **FORM AND PITCH:**

Primary roofs shall be symmetrically gabled or hipped, with a slope of between 35° and 45°.

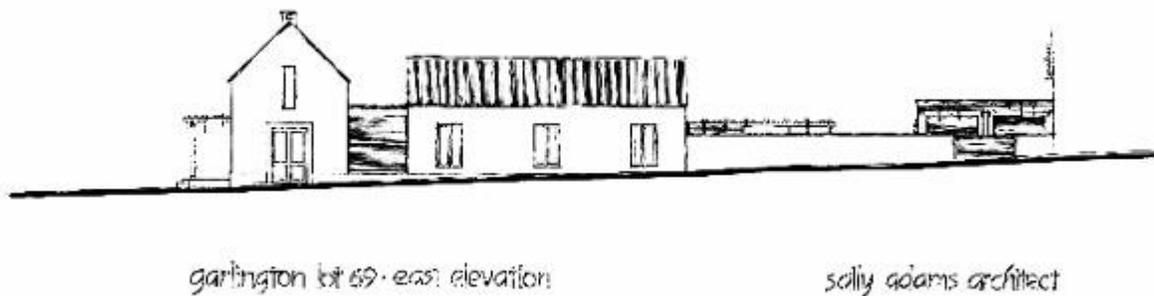
Secondary, lean-to roofs shall have a slope of between 10° and 18°.

Flat roofs may be used to link buildings when houses are fragmented. Flat roofs are also acceptable when they are accessible from an interior room.

See Figure 43.

After research, GARC notes that a large number of the old Cape Dutch Farm Houses, had a pitch of 47° to 52°.

GARC confirms that where views will not be impacted negatively, the pitch may be increased to 52°. This will, however, have to be done on the basis of architectural merit, so when submitting, GARC must be satisfied that the higher pitch improves the proportions of the building.

**Fig 43****6.3 EAVES:**

Eaves shall be clipped. Overhangs may be allowed, subject to detailed drawings being submitted to GARC for approval. Eaves with overhangs must have exposed rafters. In the case of Cape Farmhouses, roofs must have clipped or flushed eaves.

7 GUTTERS AND DOWNPIPES:

Gutters and down-pipes, when used, shall be made of galvanized iron or aluminium. Only Ogee or Marley streamline gutters and down-pipes may be used. Down-pipes shall be white or the colour of the wall to which they are fixed. Gutters shall be white or a colour to match the roof.

8 FACIAS AND BARGES:

Barges shall be aluminium or iron and carefully detailed so as to enhance the gable ends of the buildings. No asbestos barges are permitted. Exposed rafters are encouraged. If fascias are used, they must be timber or asbestos and well detailed.

9 DORMERS:

Dormers shall be habitable, placed not closer than 1.5m from a side wall and have a gable with a slope to match the principal structure.

10 SKY LIGHTS:

Sky lights shall be flat and shall be placed so as not to be easily from streets and public spaces. They shall be painted to match the colour of the roof.

11 WINDOWS:

Windows shall be made of wood, powder-coated aluminium, or U-PVC and shall be glazed with clear glass or frosted glass in the case of bathrooms. Sandblasted windows are permitted in front doors. In the case of aluminium or U-PVC windows, the diameter sections are to have a profile of no less than 50mm.

Windows shall be rectangular, vertically proportioned and operable. Transoms may be horizontally orientated with panes of vertical proportions. Multiple windows in the same rough opening shall be separated by a post of note less than 100mm.

The proportions of windows shall be not less than 1:5. (The most common proportions in traditional Cape and Farmhouse architecture being 1:1.7, 1:2, or 1:3, or casement windows, where the main frame is approximately square - but the internal encasement windows must comply with the above proportions). In the case of contemporary homes, windows must complement the design and need not necessarily have vertical proportions.

Notwithstanding the above, in the case of farmhouses, clerestory/ventilator windows may be used where appropriate but the width may not exceed 900mm and the vertical proportions may not exceed 600mm.

In the case of kitchen, bathroom and laundry windows, the proportions may be 1:1 but subject to the condition that the maximum size of any window may exceed 1.2 x 1.2.

Bay windows, **in the correct context**, shall be permitted.

In the case where the style of the house is modern, window proportions must be such so as to complement the design of the house. Horizontal windows will be allowed as well as windows of different proportions.

12 **SHUTTERS:**

Shutters shall be timber or powder coated aluminium. They shall be operable, sized and shaped to match the opening.

13 **EXTERNAL DOORS:**

External doors facing the street shall be timber and shall be painted or varnished with a natural varnish, giving a colour similar to teak. The use of colours on front doors and shutters is encouraged but natural colours, as opposed to synthetic colours, are to be used. On these elements deviation from the approved colour list may be allowed, provided prior approval from GARC is obtained. External, aluminium doors shall have a member with a minimum dimension of 60mm and sliding, folding doors may only be allowed when opening onto a verandah.

Windows attached to external doors require specific approval from GARC.

Any external door, other than a front door which fills an opening of more than 1 750mm, shall be placed behind a verandah or pergola.

Security doors and burglar bars must be approved by GARC. Garage doors to comply with condition 15, below.

14 **VERANDAHS AND STOEPS:**

Verandahs and stoeps are elements that are found on all the traditional Midlands and Western Cape farmhouses and should have generous stoeps or verandahs.

The minimum and maximum width of the verandahs are as per condition 1 above (FORM). **See Figures 37 and 38.**

Verandahs/stoeps must be in proportion to the primary space to which they attach. Stoeps shall be uncovered, or covered by a pergola.

Verandah columns may be square or cylindrical. They may be timber, concrete, or plastered masonry.

Timber posts may not be less than 100mm x 100mm.

In the case of plastered columns, the finished dimensions may not be less than 360mm x 360mm. Where appropriate, bases and capitals are to be provided.

If pre-cast columns are to be used, only traditional style columns may be used. The shaft of the column must be tapered and have a smooth finish. The diameter at the top shall not be less than 220mm and not more than 330mm at the base. Only simple capitals will be permitted.

No "broekie lace" is permitted.

15 **GARAGES:**

Garage door openings may not exceed 2.7m. Double garages must consist of 2 doors and be separated by a brick column of not less than 220mm wide. A third or fourth garage is permitted but it must be built separately from the double garage. More than two garages will be allowed in the same building if the openings face into a private motor court, which is not easily visible from the road, nor from other properties. A single garage door may be allowed, with the consent of GARC, but must not face onto the street, nor be easily visible from the street.

Garages facing the street must be at least 10m from the street boundary and must have a pergola or flat roof structure, providing parking space in front of the garage.

In the event of a pergola, or a flat roof structure to a garage door being constructed, a parapet wall may not be arched, unless a central column facing the street is provided. **See Figure 42.**

Parapet walls, other than those facing the street may not be arched under any circumstances. No elevation may be provided with more than three columns, including the corner columns. All columns of this structure must be of equal height. This structure must be attached to the core building.

Timber garage doors must be painted either white, or match the colour of the wall on which they are mounted.

Aluminium garage doors shall be epoxy powder-coated in white.



Fig 42

16 CHIMNEYS:

Chimneys shall be finished with plastered masonry, clapboard, or selected natural stone. Chimneys must be well proportioned and simple. Ornate chimneys are discouraged.

17 BALCONIES:

Balconies may be either concrete or wood and must be structurally supported by brackets.

18 BALUSTRADES:

Balustrades should be simple and complementary to the house design. No ornate balustrades will be permitted.

19 EXTERIOR COLOURS:

19.1 TIMBER – GARAGE DOORS:

Timber garage doors must be painted in pure white, or a colour to match the wall in which they are mounted.

19.2 PLASTER BANDS, WINDOW SILLS:

Plaster bands and window sills must be painted white, or a colour to match the wall in which they are set.

19.3 GATES – IRON, STEEL:

Gates may be made of wrought iron, steel, or timber and in the case of a gate being in a wide fence, then the gate may be made of iron and wire.

20 GENERAL

20.1 DRIVEWAYS

No specific finishes are required for driveways.

20.2 SEPTIC TANKS

The preferred septic tank is a calcamite septic tank.

20.3 OWNER BUILDERS

Owner builders are allowed, as long as they abide by the rules as set out in the building guidelines.

21 **ACCENT COLOURS**

When one of the light colours is used, GARC will allow darker tones of those colours or any of the approved dark colours, as accent colours. Prior approval of the usage of these colours, which may only be used on **minor elements**, must be obtained from GARC. In addition, these accent colours may not be used on plaster bands.

When permission is sought to paint a house a darker colour, only one of the approved light shades are to be used as an accent colour.

GARC will also consider window and door colours in other colours. However, the colour to be used must first be submitted to and approved by GARC, before it may be used.

22 **UMGENYANE ROAD – STORMWATER**

When building above or below Umgenyane Road, owners must be conscious of stormwater drainage and must not interfere with the water flow. When making submissions to GARC, a stormwater plan must be submitted, as must a design of the access from the driveway to Umgenyane Road.

23 **SWIMMING POOLS**

- 23.1 Swimming pools shall be considered as part of the house design and should be located anywhere in the placement area for swimming pools. The design should be integrated and structural and privacy requirements will be considered when approving swimming pools.
- 23.2 If a pool is built less than 3m from a boundary, a high boundary wall is to be built.
- 23.3 Relaxations will be granted with the consent of neighbours, as long as the Review Committee considers the position to be reasonable.