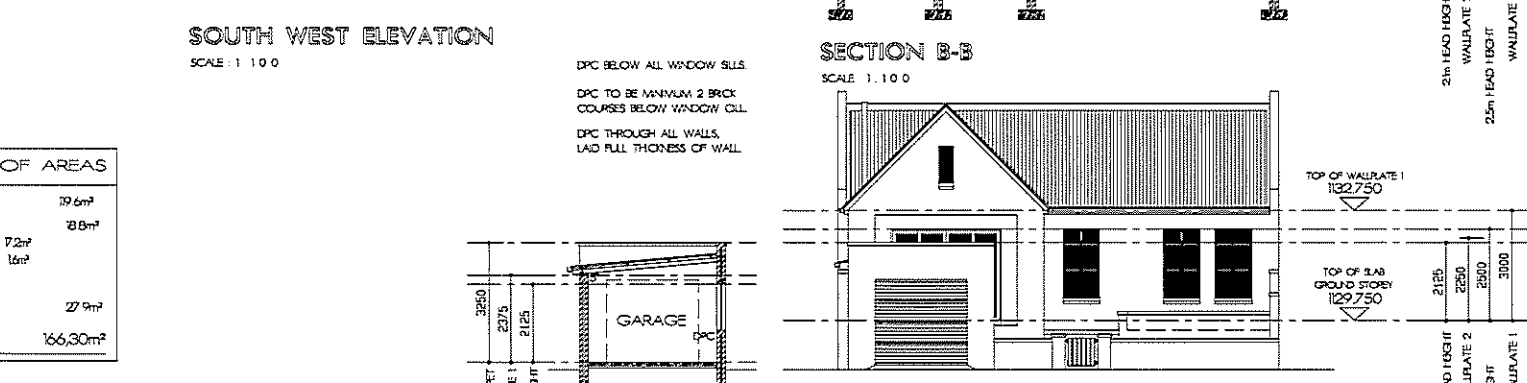
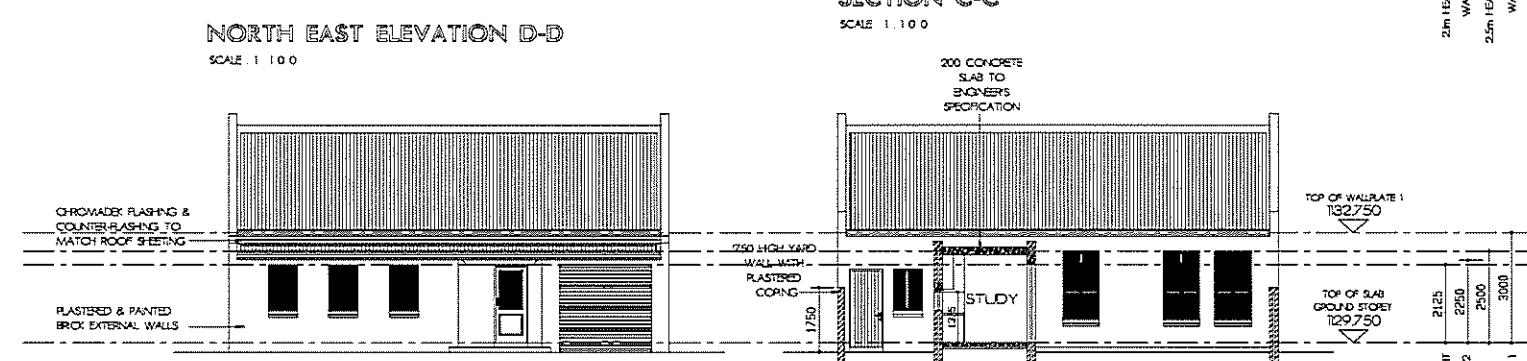
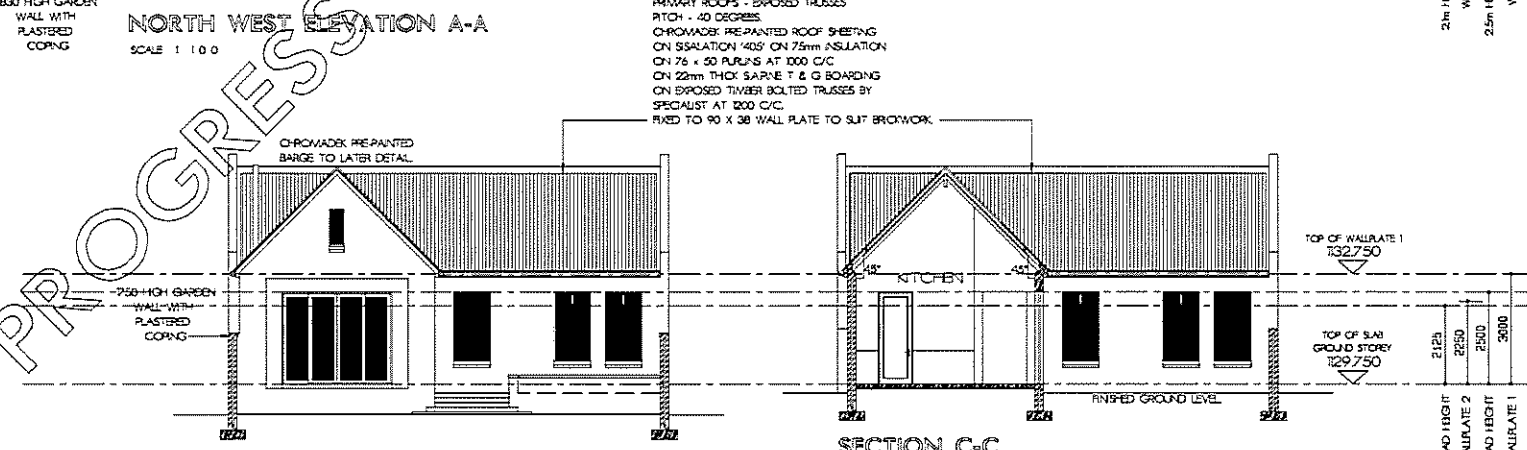
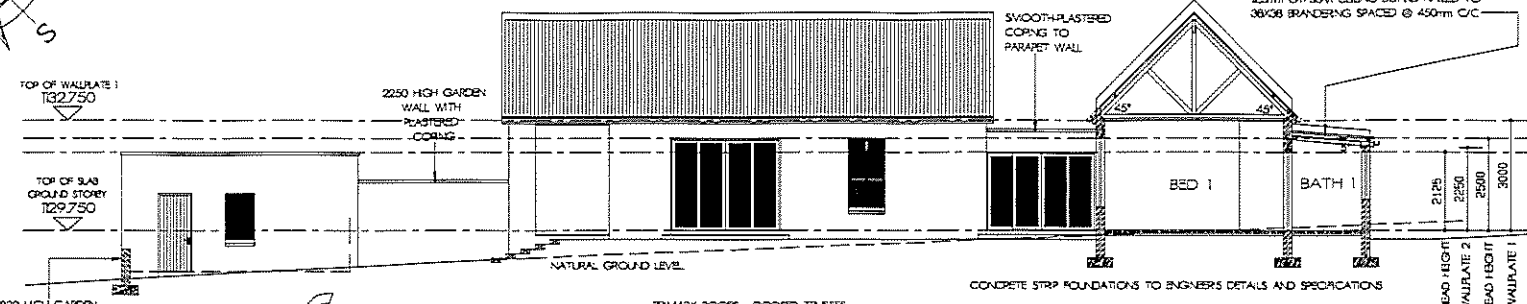


Strelitzia I HOUSE WITH VERANDAH



SCHEDULE OF AREAS	
DWELLING	119.6m ²
VERANDAH	28.8m ²
VERANDAH	7.2m ²
PORCH	1.6m ²
GARAGE SINGLE	27.9m ²
TOTAL	166.30m²

SECONDARY ROOF - STANDARD TRUSSES
 PITCH - 8 DEGREES
 CHROMADEK PREPARED ROOF SHEETING
 ON 76 x 50 PURLINS AT 1000 C/C
 ON ISOLATION 405
 ON EXPOSED TIMBER
 ROOF TRUSSES SPACED @ 600 C/C BY SPECIALIST
 FIXED TO 90 x 38 WALL PLATE TO S/JT BRICKWORK
 100mm ABSOLUTE INSULATION ON
 12.5mm GYPSUM CEILING BOARD NAILED TO
 38X38 BRANDING SPACED @ 450mm C/C

NOTE
 ALL INVERT LEVELS TO BE CAREFULLY
 CHECKED BY THE PLUMBER BEFORE ANY
 INSTALLATION OF SEWER & STORMWATER
 PIPES
 SEPTIC TANK TO SPECIALISTS DESIGN
 AND DETAILS
 POSITION TO BE DETERMINED ON SITE

FIRE DEPARTMENT NOTES
 OCCUPANCY CLASSIFICATION = H2.5

Position of hydrants as well as brand diameter
 of feeds must be shown on plan prior to approval
 No part of any building on the site is to exceed 90m
 from a fire hydrant T4, 35.4. If any building exceeds
 the 90m distance, then additional fire hydrants,
 as required are to be installed

Water supply to the fire equipment must comply with T4.33
 and the W2 section
 Provision 1 x 4.5kg DCP (ABC) fire extinguisher per
 unit

Fire extinguishers are to be well mounted with the handle at 1.5m
 above ground level in an easily visible and accessible position

Marking and signposting of emergency routes and fire equipment
 must comply with T4.29

a) Access to buildings for firefighting and rescue purposes must comply
 with T4.26, and
 b) be not less than 4.5m in width and height respectively if a controlled
 driveway is to be installed

Partition walls and partitions to comply with SANS 0400-7 (T4.9.2)
 Any such door between such garage and any such room shall have
 a fire resistance of not less than 30min, and such doorways shall
 require a threshold of not less than 10mm

Any flammable liquid installation such as flammable liquid stores, tanks,
 spray painting facilities or liquid petroleum gas facilities must comply
 with the Paramaribo by-laws relating to Fire Prevention and
 flammable liquids and substances, and the relevant SANS codes,
 and must be registered with the Fire Department

WATER RETICULATION FOR FIRE-FIGHTING PURPOSES
 TO BE SEPARATE FROM DOMESTIC MAINS

APPROVAL STAMPS

NOTES :
 GENERAL
 * DO NOT SCALE OFF THIS DRAWING
 * ALL DIMENSIONS AND LEVELS TO BE CHECKED AND ARCHITECT TO BE
 ADVISED OF ANY DISCREPANCIES
 * ALL EXISTING SERVICES ON SITE ARE TO BE PROTECTED FROM DAMAGE
 THROUGHOUT THE DURATION OF WORKS
GENERAL SPECIFICATION :
 ALL WORK TO COMPLY WITH LOCAL AUTHORITY REQUIREMENTS /
 NER & STANDARDS ACT 545 400

FOUNDATIONS
 Foundations to Structural Engineer's detail and
 specifications, where applicable
 Strip footings to all walls, unless otherwise indicated to be:
 90 mm wide - 600 x 250
 150 mm wide - 700 x 250
 200 mm wide - 700 x 250
FLOORS
 100mm thick conc. slab 100mm reinforced with
 mesh bar #8 on
 50mm thick ISOBOR® insulation on
 250 mm GYPSUM CEILING BOARD waterproofing on its
 connected to MOD AASHTO 99%
 Slab to be prepared in accordance with SANS 165
 Certificate must be provided

WALLS
 Inward clay brick laid in stretcher bond in 80mm brick course
 West clay bricks laid in stretcher bond in 125mm brick course
 External walls = 200mm thick CHROMADEK Corvetec clay bricks
 Internal walls = 90mm thick CHROMADEK Corvetec clay bricks
 External face of inner skin to be lagged and pointed with bituminous part
 Bricks to be laid in every course below surface bed
 and to every course between window head & window
 generally over 3rd course from slab level
 All walls are to comply with Part C of the National Building Regulations
 Internal walls to be smooth plastered and pointed, or as indicated
 External walls to be plastered and pointed
 Plastered walls with DPC under to be built to damp, where indicated
 Plastered brick with DPC under to be built to damp, where indicated
 Beam fixing to underside of roof covering

CAVITY WALLS
 Build cavity walls where shown on plan
 General face of inner skin to be lagged and
 pointed with bituminous part
 50mm thick ISOBOR® insulation to all cavities
 built in as per Manufacturer's specifications
 Coloured wire mesh every 4th course and
 At 1000 intervals horizontally, in staggered formation

WINDOWS
 Purpose made aluminium windows
 (Refer to Architects window schedule)
 Glazing to comply with part N of NBR
ROOF
 Pitch - 8 and 40 degrees
 CHROMADEK® or similar pre-painted corrugated roof sheeting
 on isolation 405 on 75mm insulation
 on 76 x 50 timber purlins at 1000 c/c
 on 22mm thick S.A. Pine tongue & groove planks
 on 28 x 38 Pine rafters at 500c/c
 on well struts to suit brackets
 Hurricane clips to be provided and secured to purlins and rafters
 at every intersection
 Roof to be certified by Engineer
 TO BE READ IN CONJUNCTION WITH ROOF NOTES ON
 ELEVATION / SECTION DRAWINGS

CEILING BOARD
 Purpose made mineral fibre and doors
 (Refer to Architects door schedule)
 Glazing to comply with part N of NBR
FASCIA BOARDS
 ALUTEC 50 x 12mm fibre cement fascia
BARGE BOARDS
 Mild steel colour coated to later detail
DOOR FRAMES AND DOORS
 Purpose made aluminium frames and doors
 (Refer to Architects door schedule)
 Sealed with clear MAXICARE® rubber weather
 Glazing to comply with part N of NBR

RAINWATER GOODS
 Aluminium gutters of 'Copel' section pre-treated
 Downpipes to be 50mm PVC coated
 (ALL GUTTERS AND DOWNPIPES SIZES TO BE
 TO MANUFACTURERS APPROVAL)
PLUMBING & DRAINAGE
 All plumbing to be undertaken by registered contractors
 Provide 1/2" @ all levels & sections with all services
 measured & sealed to comply with
 local authority requirements
 Drain under building to comply with part P of NBR
 Urinals over sewer line under building (See detail)
FINISHES
 Refer to Architects finish schedule

OCCUPANCY CLASSIFICATION = H2.5

REVISIONS			
NO	DATE	BY	DESCRIPTION

ARCHITECT'S SIGNATURE
 OWNER'S SIGNATURE

GRICE BELLARS ARCHITECTS
 211 Macassar, Hoffmeyer (Berg) Street
 Portenamburg 201 South Africa
 Telephone: +27 (0)33 334 1795
 Facsimile: +27 (0)33 334 1787

PROJECT
GARLINGTON LIFESTYLE VILLAGE - Strelitzia
 GARLINGTON ESTATE HILTON
DRAWING TITLE
 WORKING DRAWINGS
 OPTION 3 - WITH VERANDAH
SCALE
 1:100
DRAWN
 Report
DATE
 July 2014
REVISION